

PROPOSED SECTION OF TWP RD 531 DITCH TO ENSURE POSITIVE DRAINAGE FROM INTERSECTION

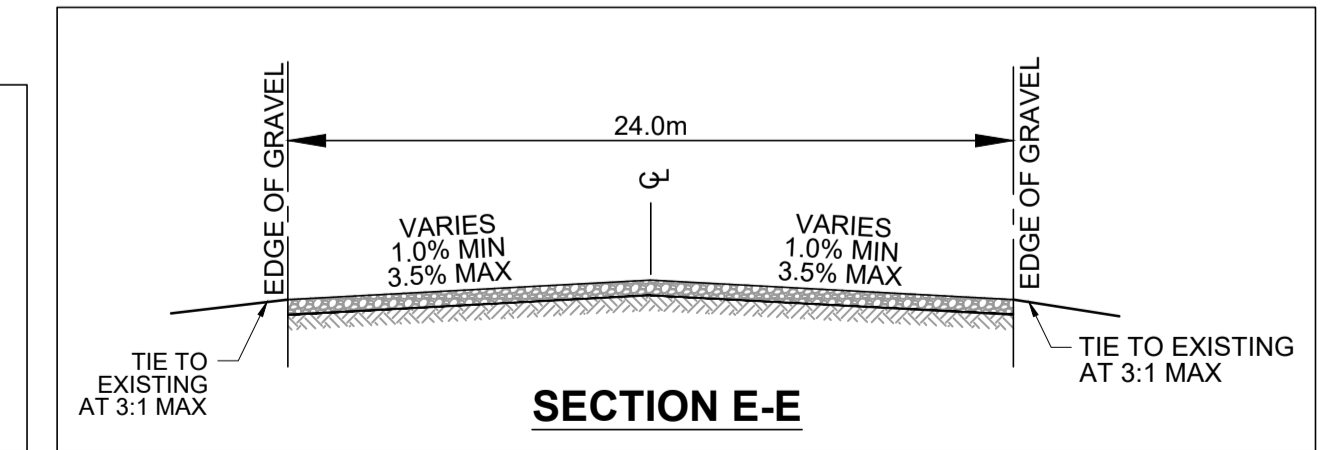
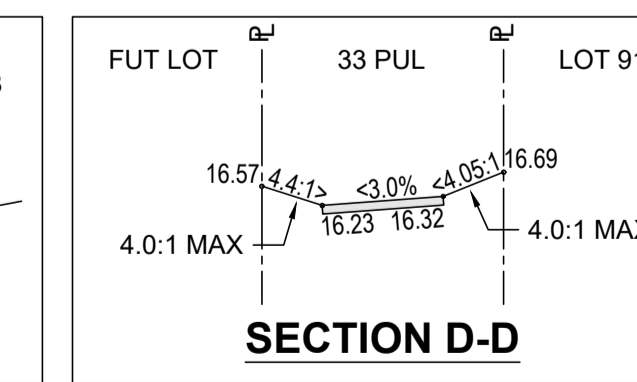
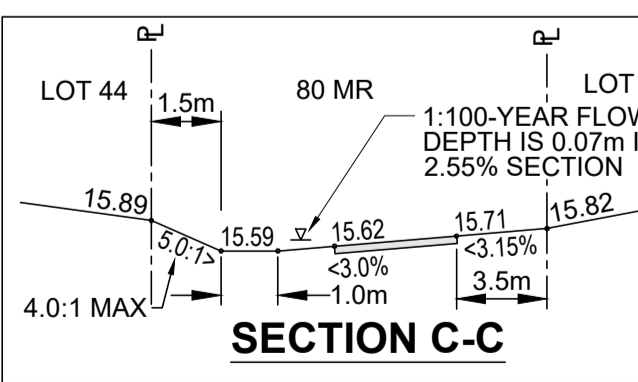
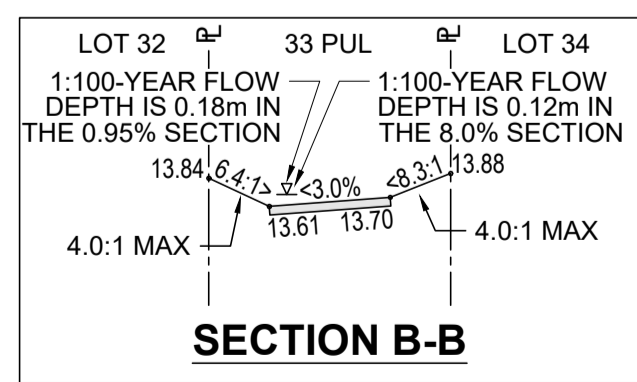
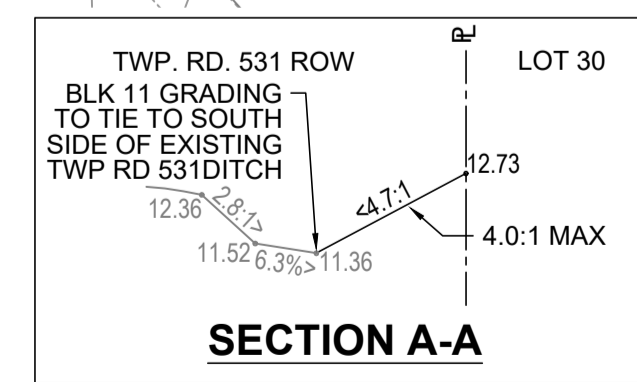
PROPOSED GRADING TIE-IN TO SHIFT SOUTH EDGE OF EXISTING TWP RD 531 DITCH ALIGNMENT

PROPOSED GRADING TIE-IN TO SHIFT SOUTH EDGE OF EXISTING TWP RD 531 DITCH ALIGNMENT

- NOTES:**
1. ALL HOUSES MUST HAVE SUMP PUMP FOR WEeping TILE WITH CONNECTION TO THE SUMP PUMP DISCHARGE COLLECTION SERVICE AND EMERGENCY DISCHARGE TO SURFACE.
 2. # LOTS MARKED WITH THIS SYMBOL HAVE PART OF THE LOT DRAINING TO THE REAR. FOR THESE LOTS, ROOF DRAINS MUST BE DIRECTED TO THE FRONT OF THE LOT IF AT ALL POSSIBLE.
 3. STRIPPING CONTOURS SURVEYED BY AL-TERRA IN 2022, 2024, & 2025.
 4. DETAILED GRADING PLAN FOR INDIVIDUAL LOTS TO BE SUBMITTED TO COUNTY BY BUILDERS.
 5. @ LOTS MARKED WITH THIS SYMBOL MAY HAVE BEEN DISTURBED BY ADJACENT UNDERGROUND TRENCHING ACTIVITIES.
 6. * LOTS MARKED WITH THIS SYMBOL HAVE ENGINEERED FILL MATERIAL PLACED AT 0.5m BELOW THE DESIGN FINISHED FRONT OF LOT ELEVATION.
 7. ∇ LOTS MARKED WITH THIS SYMBOL ARE TO HAVE THEIR LOWEST FOOTING ELEVATION A MINIMUM OF 0.50m ABOVE THE HIGH WATER LEVEL OF SWMF. LOWEST BOTTOM OF FOOTING ELEVATION TO BE 710.70. ANY PORTION OF THE FOUNDATION BELOW THE HIGH WATER LINE TO BE WATERPROOFED. A GEOTECHNICAL ENGINEER SHOULD BE CONSULTED FOR EACH SITE SPECIFIC FOOTING/FOUNDATION DESIGN TO TAKE INTO ACCOUNT THE SOIL COEFFICIENT OF PERMEABILITY AND ANY POTENTIAL HYDROSTATIC PRESSURE DUE TO GROUND WATER.
 8. φ LOTS MARKED WITH THIS SYMBOL ARE TO HAVE ROOF LEADERS DIRECTLY CONNECTED TO THE STORM SERVICE.

LAND DEVELOPMENT ENGINEERING'S REVIEW AND ACCEPTANCE OF THE LOT GRADING PLAN RELATES EXCLUSIVELY TO THE SURFACE DRAINAGE DESIGN, AND DOES NOT ADDRESS REQUIREMENTS FOR BUILDING FOUNDATIONS OR ANY OTHER USE OF THE LANDS, AND DOES NOT IMPLY THE SUITABILITY OF THE GROUND OR FILLS FOR ANY FOUNDATION REQUIREMENTS OR OTHER USE. IT IS THE OWNER OR THE BUILDER'S RESPONSIBILITY TO EMPLOY THE SERVICES OF A QUALIFIED GEOTECHNICAL CONSULTANT TO DETERMINE GROUND AND SUBSURFACE CONDITIONS THAT MAY AFFECT FOUNDATION DESIGN OR OTHER USE REQUIREMENTS.

THIS DRAWING INDICATES RECORD INFORMATION



EXISTING	LEGEND	PROPOSED	FUTURE	EXISTING	PROPOSED	EXISTING	PROPOSED
---	PROPERTY LINE	---	---	●	VALVE	→	→
---	RIGHT OF WAY LINE	---	---	○	HYDRANT	→	→
---	CURB AND GUTTER	---	---	○	MANHOLE	→	→
---	MONOLITHIC WALK	---	---	○	CURB STOP	→	→
---	ASPHALT TRAIL	---	---	○	CATCH BASIN	→	→
---	LOT GRADES	---	---	○	TRANSFORMER	→	→
---	STRIPPING CONTOURS	---	---	○	VAULT	→	→
---	GRASS SWALE	---	---	○	LIGHT STANDARD	→	→
---	MAJOR DRAINAGE ROUTE	---	---	○	T-BOLLARDS	→	→

NO.	REVISION	DATE	BY
7.	ISSUED TO SUPPORT BUILDING PERMITS	OCT 30/25	NAS
6.	UPDATED LOT GRADING & SERVICE AS-BUILTS	OCT 27/25	DML
5.	IFC SUBMISSION FOR COUNTY APPROVAL	AUG 25/25	NAS
4.	REVISED PER STRATHCONA COUNTY COMMENTS	AUG 22/25	NAS
3.	IFC SUBMISSION FOR COUNTY APPROVAL	JUL 21/25	NAS
2.	REVISED PER 1st SUBMISSION COMMENTS	APR 16/25	DML
1.	1st SUBMISSION FOR COUNTY/CLIENT REVIEW	JAN 31/25	NAS



LOT GRADING PLAN			
DESIGN:	NAS	CHECKED:	NAS
DRAWN BY:	DML	APPROVED:	KBA
SCALE:	1:750	DATE:	JANUARY 2025
		JOB NO.:	666-035
		DRAWING NO.:	666-035-406.01

ARDROSSAN STAGE 11
BY
ARDROSSAN EAST LTD.
IN
STRATHCONA COUNTY