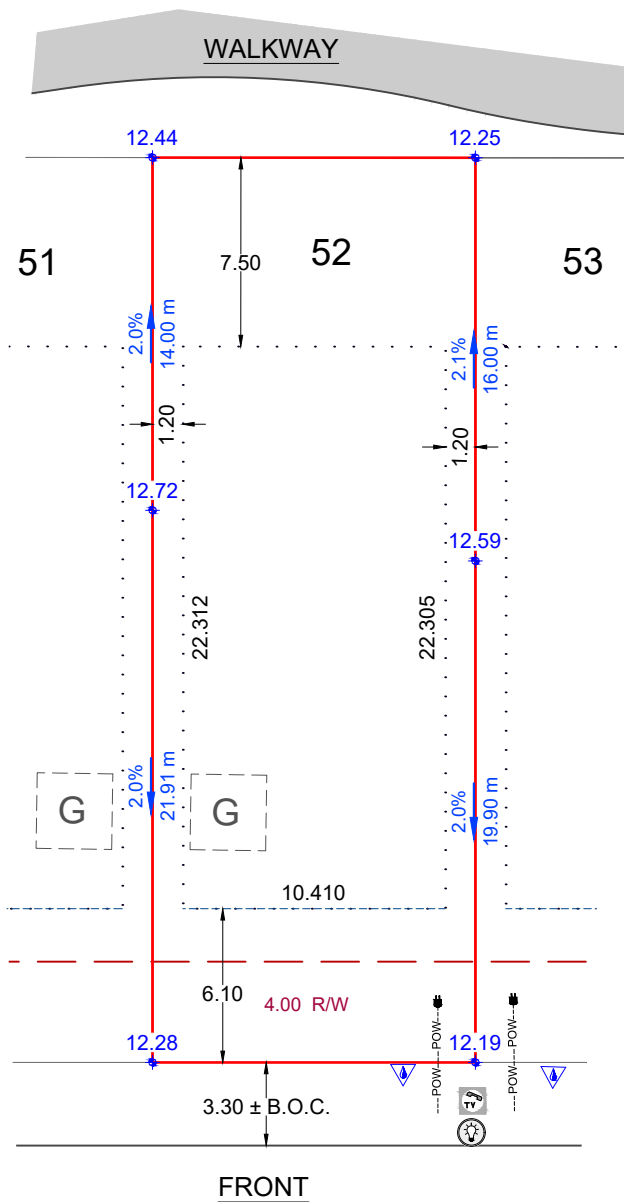
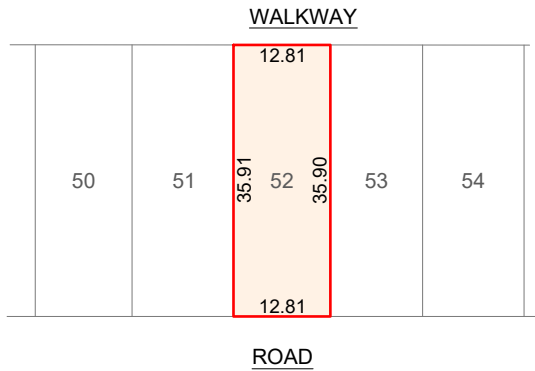


POCKET PLAN



| ELEVATION DETAILS                |      |
|----------------------------------|------|
| HOUSE TYPE:                      |      |
| FINISHED FLOOR:                  |      |
| BOTTOM OF FOOTING:               |      |
| BASEMENT HEIGHT:                 |      |
| FINISHED GRADE AT-FRONT STEP:    |      |
| FINISHED GRADE AT-BACK OF HOUSE: |      |
| GRADE BELOW-BACK/SIDE DOOR SILL: |      |
| GRADE BELOW-BASEMENT WINDOWS:    |      |
| TOP OF CONCRETE BASEMENT WALL:   |      |
| GARAGE FLOOR:                    |      |
| SANITARY SEWER SERVICE INVERT:   | 9.29 |
| FOOTING SIZE:                    |      |

**NOTES**

- BUILDER/OWNER RESPONSIBLE TO ENSURE BACK FILL LEVELS MEET ALL CODES.
- BUILDER / OWNER IS LIABLE FOR ANY COSTS INCURRED DUE TO AN ERROR IN THE ABOVE PLAN IF CONSTRUCTION STARTS PRIOR TO THIS PLAN BEING APPROVED BY THE LOCAL APPROVING AUTHORITY
- ALL DISTANCES SHOWN ARE IN METER AND DECIMALS THEREOF.
- INFORMATION TO BE USED AS A GUIDELINE ONLY, AND IS SUBJECT TO CHANGE.
- RAIN WATER LEADERS TO BE DETERMINED. (NO INFORMATION ON ENGINEERING, CONTACT ENGINEER PRIOR TO CONSTRUCTION)**
- INFORMATION BASED ON UNREGISTERED PLAN, SUBJECT TO CHANGE.
- STORM = 10.19

| DETAILS   |
|---|
| - LOT AREA: 459.99 m <sup>2</sup> (4951.3 ft <sup>2</sup> ) |

| LEGEND                 |  |                           |        |
|------------------------|--|---------------------------|--------|
| PROPOSED CLEAN OUT     |  | PROPOSED HYDRANT          |        |
| PROPOSED STREET LIGHT  |  | PROPOSED SERVICE PEDESTAL |        |
| PROPOSED C.C. LOCATION |  | PROPOSED POWER SERVICE    |        |
| PROPOSED TRANSFORMER   |  | PROPOSED FENCE LINE       |        |
|                        |  | PROPOSED BACK OF CURB     |        |
|                        |  | PROPOSED BACK OF WALK     |        |
|                        |  | PROPOSED LIP OF LANE      |        |
|                        |  | PROPOSED UTILITY VAULT    |        |
|                        |  | B.O.C.                    |        |
|                        |  | B.O.W.                    |        |
|                        |  | L.O.L.                    |        |
|                        |  | DESIGN GRADE ELEVATION    | 00.00  |
|                        |  | AS-BUILT ELEVATION        | 00.00  |
|                        |  | PROPOSED ELEVATION        | 00.00  |
|                        |  | CENTERLINE ELEVATION      | CL 0.0 |

| LEGAL INFORMATION |                   |              |
|-------------------|-------------------|--------------|
| LOT               | BLOCK             | PLAN NUM.    |
| 52                | 8                 | UNREGISTERED |
| CIVIC ADDRESS:    |                   |              |
|                   |                   |              |
| LOCATION          | SUBDIVISION       |              |
| ARDROSSAN         | ARDROSSAN HEIGHTS |              |

**Pals Geomatics Corp.**

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 10704 - 176TH STREET NW  
 EDMONTON, ALBERTA T5S 1G7

Member

| DWG DETAILS    |             |             |             |
|----------------|-------------|-------------|-------------|
| Rev. No.       | Date:       | Drafted By: | Description |
| PK             | Sep. 24, 21 | LMATYJANKA  |             |
| BUILDER/OWNER: |             |             |             |
| MODEL:         |             |             |             |
| JOB NUM.:      |             |             |             |
| LOT ZONING:    | ALD         | SCALE:      | 1:300       |