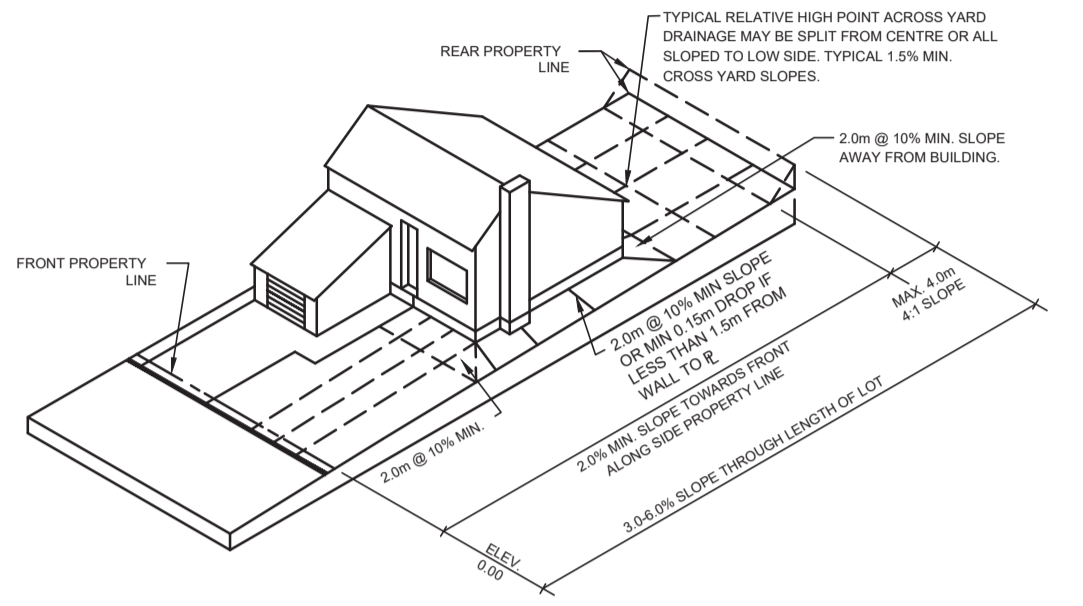
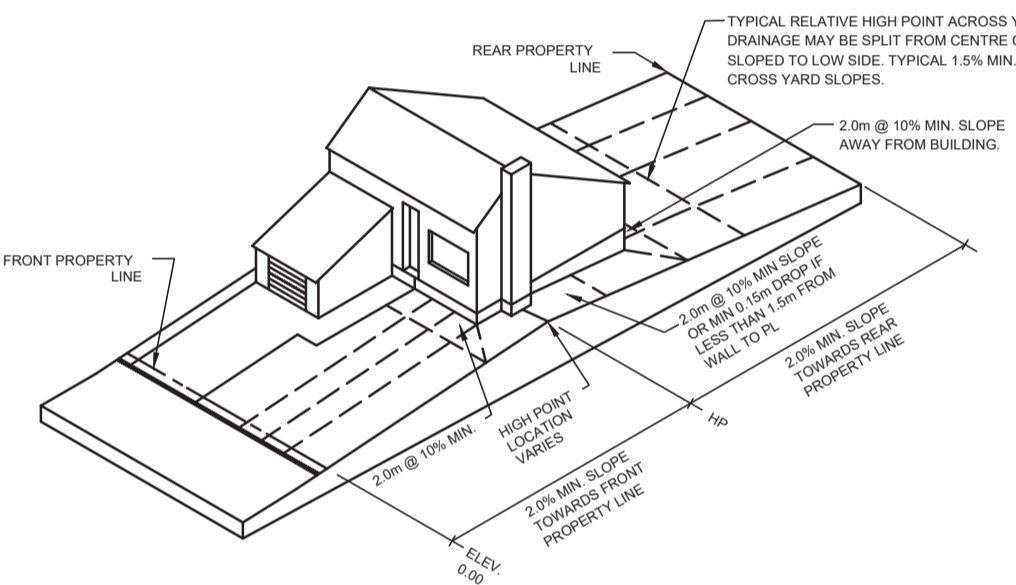


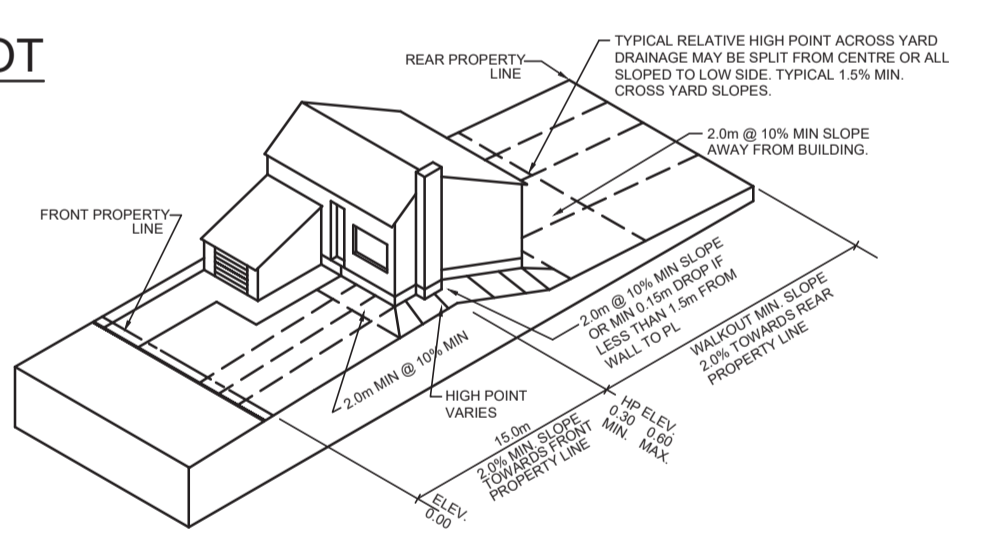
**2.0-3.0% OVERALL LOT SLOPE
REAR TO FRONT DRAINAGE
TYPE A**



**3.0-6.0% OVERALL LOT SLOPE
REAR TO FRONT DRAINAGE
TYPE B**



**SPLIT DRAINAGE
@ FRONT TO MID LOT
TYPE S**



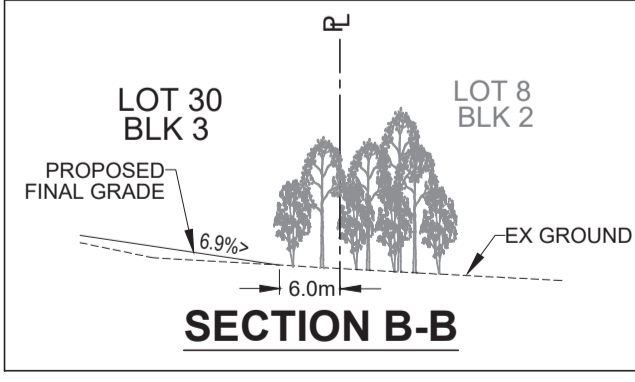
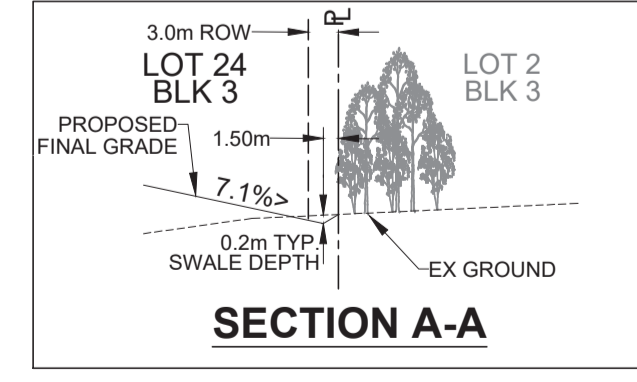
**WALKOUT BASEMENT
TYPE W**

TYPE W DENOTES LOT THAT MAY NEED EXTRA STEPS TO BE FULL WALKOUT

NOTES:

- ALL HOUSES MUST HAVE SUMP PUMP FOR WEEPING TILE WITH CONNECTION TO THE SUMP PUMP DISCHARGE COLLECTION SERVICE AND EMERGENCY DISCHARGE TO SURFACE.
- # LOTS MARKED WITH THIS SYMBOL HAVE PART OF THE LOT DRAINING TO THE REAR. FOR THESE LOTS, ROOF DRAINS MUST BE DIRECTED TO THE FRONT OF THE LOT.
- ORIGINAL GROUND CONTOURS SURVEYED BY AL-TERRA IN 2015 OR OBTAINED FROM STRATHCONA COUNTY OPEN DATA SOURCE PORTAL.
- DETAILED GRADING PLAN FOR INDIVIDUAL LOTS TO BE SUBMITTED TO COUNTY BY BUILDERS.
- ⊕ LOTS MARKED WITH THIS SYMBOL MAY HAVE BEEN DISTURBED BY ADJACENT UNDERGROUND TRENCHING ACTIVITIES.
- ★ LOTS MARKED WITH THIS SYMBOL MAY HAVE MORE THAN 1.2m OF FILL WITHIN THE BUILDING POCKET AREA.
- ▽ LOTS MARKED WITH THIS SYMBOL ARE TO HAVE THEIR LOWEST FOOTING ELEVATION A MINIMUM OF 1.0m ABOVE THE NORMAL WATER LEVEL OF SWMF 1 - FOOTING ELEVATION TO BE ABOVE 705.25 - AND HAVE ANY PORTION OF THE FOUNDATION BELOW THE HIGH WATER LINE WATERPROOFED. A GEOTECHNICAL ENGINEER SHOULD BE CONSULTED FOR EACH SITE SPECIFIC FOOTING/FOUNDATION DESIGN TO TAKE INTO ACCOUNT THE SOIL COEFFICIENT OF PERMEABILITY AND ANY POTENTIAL HYDROSTATIC PRESSURE DUE TO GROUND WATER.

LAND DEVELOPMENT ENGINEERING REVIEW AND ACCEPTANCE OF THE LOT GRADING PLAN RELATES EXCLUSIVELY TO THE SURFACE DRAINAGE DESIGN, AND DOES NOT ADDRESS REQUIREMENTS FOR BUILDING FOUNDATIONS OR ANY OTHER USE OF THE LANDS, AND DOES NOT IMPLY THE SUITABILITY OF THE GROUND OR FILLS FOR ANY FOUNDATION REQUIREMENTS OR OTHER USE. IT IS THE OWNER OR THE BUILDER'S RESPONSIBILITY TO EMPLOY THE SERVICES OF A QUALIFIED GEOTECHNICAL CONSULTANT TO DETERMINE GROUND AND SUBSURFACE CONDITIONS THAT MAY AFFECT FOUNDATION DESIGN OR OTHER USE REQUIREMENTS.



EXISTING	LEGEND	PROPOSED	FUTURE
---	PROPERTY LINE	---	---
---	RIGHT OF WAY LINE	---	---
---	CURB AND GUTTER	---	---
---	SIDEWALK	---	---
---	LOT GRADES	---	---
---	ORIGINAL GROUND CONTOURS	---	---
---	GRASS SWALE	---	---
---	MAJOR DRAINAGE ROUTE	---	---

EXISTING	PROPOSED
⊕	VALVE
⊕	HYDRANT
⊕	MANHOLE
⊕	CURB STOP
⊕	CATCH BASIN
⊕	TRANSFORMER
⊕	PEDESTAL VAULT
⊕	LIGHT STANDARD
⊕	POWER POLES
⊕	T-BOLLARDS

EXISTING	PROPOSED
→	DIRECTION OF DRAINAGE
⊕	100 YEAR STORM PONDING
⊕	SAN SERVICE INVERT AT EASEMENT
⊕	STM SERVICE INVERT AT EASEMENT
⊕	LOT TYPE

NO.	REVISION	DATE	BY
4.	ISSUED FOR CONSTRUCTION DRAWINGS	MAY 17/21	NAS
3.	2nd SUBMISSION FOR COUNTY REVIEW	MAY 03/21	KBA
2.	REVISIONS PER COUNTY COMMENTS	APR 28/21	KBA
1.	1st SUBMISSION FOR COUNTY/CLIENT REVIEW	FEB 08/21	NAS

ARDROSSAN ESTATES
STAGE 3
BY
ARDROSSAN LAND CORPORATION
IN
STRATHCONA COUNTY



DESIGN:	CHECKED:	JOB NO.:
NAS	NAS	6619
DRAWN BY:	APPROVED:	DRAWING NO.:
CM	KBA	
SCALE:	DATE:	
1:750	FEBRUARY 2021	6619-205